

HISTORIC AND DESIGN REVIEW COMMISSION

October 19, 2022

HDRC CASE NO: 2022-492
ADDRESS: 818 AUSTIN ST
LEGAL DESCRIPTION: NCB 991 BLK 1 LOT 6
ZONING: IDZ-3, H
CITY COUNCIL DIST.: 2
DISTRICT: Individual Landmark
APPLICANT: David House /BELEWHOUSE LLC
OWNER: BELEWHOUSE LLC
TYPE OF WORK: Construction of a rear patio cover structure
APPLICATION RECEIVED: September 20, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Order
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a new, rear patio cover structure to replace an existing, patio cover structure.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

2. Massing and Form of Non-Residential and Mixed-Use Additions

A. GENERAL

- i. Historic context*—Design new additions to be in keeping with the existing, historic context of the block. For example, additions should not fundamentally alter the scale and character of the block when viewed from the public right-of-way.
- ii. Preferred location*—Place additions at the side or rear of the building whenever possible to minimize the visual impact on the original structure from the public right of way. An addition to the front of a building is inappropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way.
- iv. Subordinate to principal facade*—Design additions to historic buildings to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- v. Transitions between old and new*—Distinguish additions as new without distracting from the original structure. For example, rooftop additions should be appropriately set back to minimize visibility from the public right-of-way. For side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Height*—Limit the height of side or rear additions to the height of the original structure. Limit the height of rooftop additions to no more than 40 percent of the height of original structure.
- ii. Total addition footprint*—New additions should never result in the doubling of the historic building footprint. Full-floor rooftop additions that obscure the form of the original structure are not appropriate.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

4. Architectural Details

A. GENERAL

- i. Historic context*—Design additions to reflect their time while respecting the historic context. Consider character defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

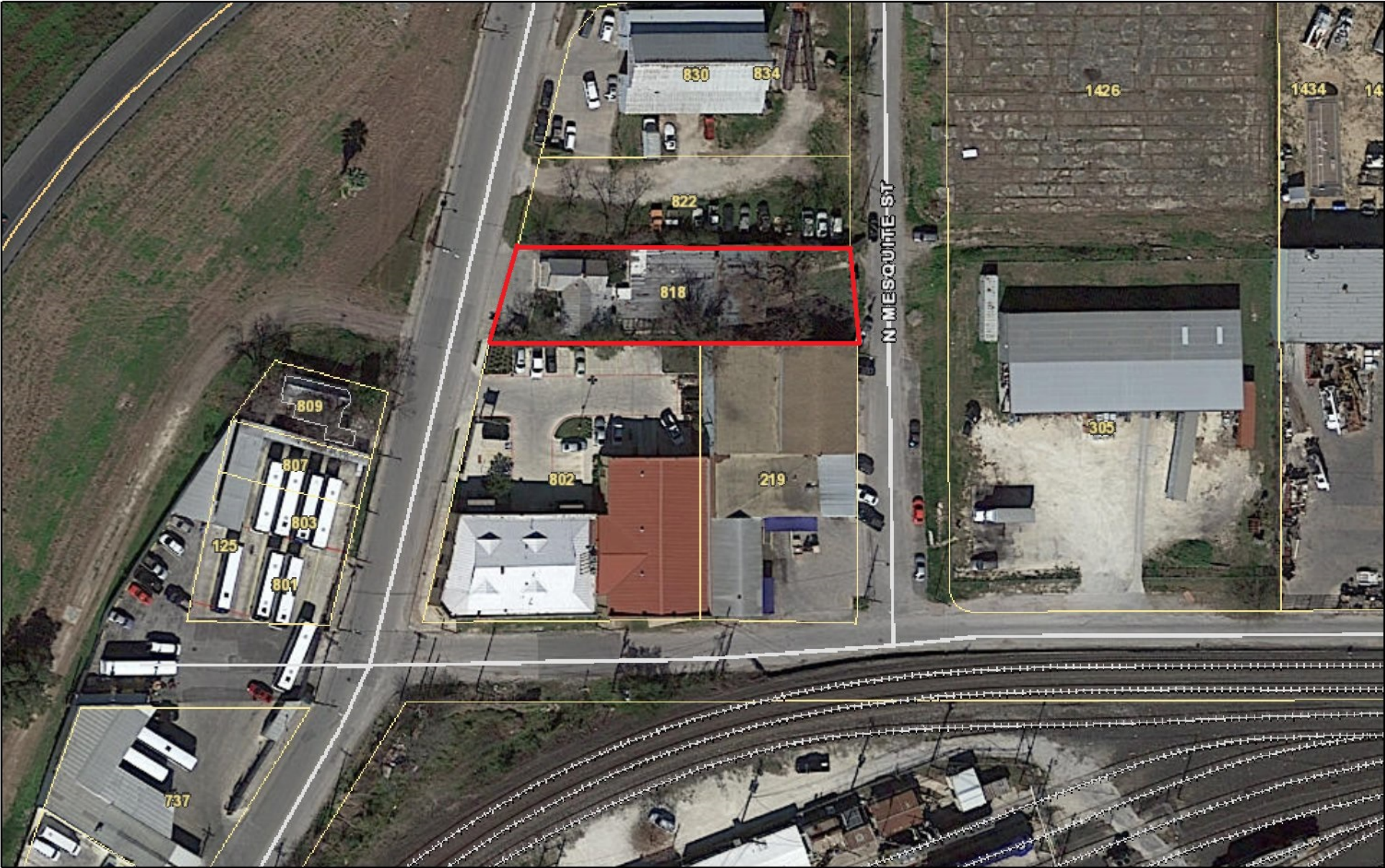
- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a new, rear patio cover structure to replace an existing, patio cover structure.
- b. The historic structure at 818 Austin Street was constructed circa 1900 and is first found on the 1904 Sanborn Map. The structure features a traditional L-plan footprint, caliche stone walls, a standing seam metal roof and a caliche block chimney. There is an existing, D'Hanis block structure at the rear of the historic structure as well as an existing, rear patio cover that consists of a metal structure and a corrugated metal roof.
- c. PATIO COVER (Scale & Massing) – The applicant has proposed to construct a patio cover to feature a total footprint of approximately 1,080 square feet. The proposed patio cover will feature an overall height of seventeen (17) feet. Generally, staff finds the proposed size of the proposed patio cover to be appropriate given its location and separation from the primary historic structure on the site.
- d. PATIO COVER (Materials) – The applicant has proposed materials that include square, steel columns, steel wide flange beams, and overhead rolling doors. Generally, given the industrial nature of the vicinity and the existing, rear addition, staff finds the proposed materials to be appropriate. Staff finds that the applicant should submit the overhead rolling garage doors to OHP staff for review and approval prior to the issuance of a Certificate of Appropriateness.

RECOMMENDATION:

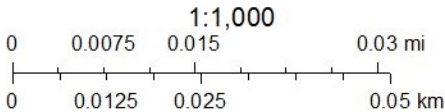
Staff recommends approval based on findings a through d with the following stipulations:

- i. That the applicant submit the proposed overhead rolling doors to OHP staff for review and approval, as noted in finding d. The proposed doors should feature metal construction and should not be vinyl.
- ii. That all structural elements be painted to complement the existing material colors on site.

City of San Antonio One Stop



October 12, 2022



1904 SANBORN MAP

SAN ANTONIO VOL. H.

172

MASON

NOT PAVED

185

484

CASA
BLANCA

OAK

985

AUSTIN

VAN NESS

NOT PAVED

N. HACKBERRY

173

490

CROSBY

NOT PAVED

N. MESQUITE

170

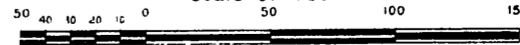
818

DANCE HALL

991

493

Scale of Feet.





818

CITY
VETERINARY
HOSPITAL





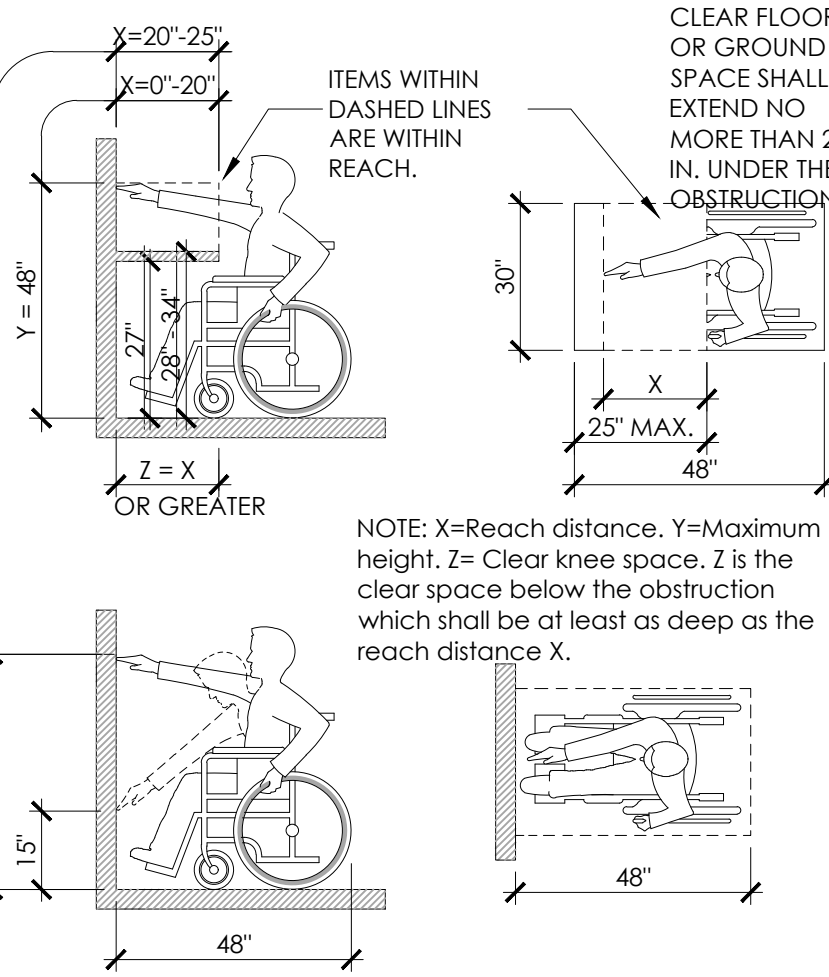


GENERAL NOTES

1. CONTRACTOR IS TO EXECUTE ALL DETAILS UTILIZED IN THIS PROJECT. IF IT IS NOT CLEAR WHERE A SPECIFIC DETAIL IS TO BE UTILIZED, SEND RFI TO ARCHITECT FOR CLARIFICATION.
2. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK, SUPPLY ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH LOCAL AND NATIONAL GOVERNING CODES.
3. THE GENERAL CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, REPORTING ANY DISCREPANCIES, IN WRITING, TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF CONSTRUCTION. THIS IS THE SAME FOR LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS UNDER WHICH THE CONTRACTOR WILL BE OBLIGATED TO OPERATE. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION SUPPLIED BY THE OWNER.
4. DIMENSIONS ARE TYPICALLY TO A FINISHED SURFACE OR TO AN ASSEMBLY, FIXTURE, CENTERLINE, ETC. REPORT ALL DISCREPANCIES IN DIMENSIONS IN WRITING TO THE ARCHITECT PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION. WORK SHALL BE TRUE AND LEVEL AS INDICATED. ALL WORK SHALL RESULT IN AN ORDERLY AND WORKMAN-LIKE APPEARANCE. WHERE FIGURES OR DIMENSIONS HAVE BEEN OMITTED FROM THE DRAWINGS, THE DRAWINGS SHALL NOT BE SCALED. THE CONTRACTOR SHALL IMMEDIATELY REQUEST DIMENSIONS IN WRITING FROM THE ARCHITECT.
5. THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY LIGHT, TELEPHONE, FAXING, CLEAN-UP SERVICE, AND TOILETS. ALL TEMPORARY WORK IS TO BE REMOVED PRIOR TO COMPLETION.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE OTHER TRADES INCLUDING WORK NOT IN CONTRACT.
7. THE GENERAL CONTRACTOR IS TO FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
8. THE GENERAL CONTRACTOR IS TO KEEP A FULL SET OF UP-TO-DATE CONSTRUCTION DOCUMENTS INCLUDING ADDENDA, FIELD SKETCHES, CLARIFICATIONS AND SUPPLEMENTS AVAILABLE AT THE JOB SITE AT ALL TIMES.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS NECESSARY FOR COMPLETION OF WORK AND FOR PROTECTION OF WORKERS, VISITORS AND THE PUBLIC.
10. THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE BARRICADES AS PER LOCAL BUILDING CODES AND ORDINANCES TO ENSURE THE SAFETY OF PERSONS AND PROPERTY ON THE SITE OCCUPIED BY THE OWNER AND IN THE ADJACENT PUBLIC RIGHT OF WAY.
11. CARBON MONOXIDE EMISSIONS ARE PROHIBITED FROM ALL INTERIOR WORK. IF FUME HAZARDS OCCUR, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MONITORING AND TESTING OF AFFECTED AREAS.
12. THE GENERAL CONTRACTOR IS TO REPAIR, REPLACE, PATCH AND MATCH ANY MATERIALS, AREAS OR SYSTEMS AS REQUIRED AND CALLED FOR TO ENSURE PROPER INSTALLATION AND NEAT APPEARANCE OF THE WORK.
13. SPECIFIED ITEMS HAVE BEEN SELECTED BECAUSE THEY REFLECT THE STANDARDS OF QUALITY DESIRED, OR POSSESS FEATURES REQUIRED TO PRESERVE THE DESIGN CONCEPT. THE ARCHITECT, THEREFORE, RESERVES THE RIGHT TO REQUIRE THE USE OF THE SPECIFIED ITEMS. ANY REQUESTS FOR SUBSTITUTIONS FOR THE SPECIFIED ITEMS MUST BE SUBMITTED TO THE ARCHITECT, IN WRITING, ALONG WITH SAMPLE AND PROOF OF EQUALITY OF SUCH ITEMS. IN ALL CASES, THE BURDEN OF PROOF OF EQUALITY SHALL BE WITH THE BIDDER AND THE DECISION OF THE ARCHITECT SHALL BE FINAL.
14. THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL INSTRUCTIONS.
15. ALL SCRAP MATERIALS ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE.
16. THE GENERAL CONTRACTOR IS TO NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT UPON FINDING CONDITIONS NOT IDENTIFIED ON DRAWINGS.
17. THE ADJACENT PROPERTIES SHALL IN NO WAY BE INCONVENIENCED OR DISTURBED BY VEHICLES, DEBRIS, SIGNS, ODORS, UNSIGHTLY CONDITIONS, OR NON-CONSTRUCTION NOISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDUCT OF ALL PERSONS ON SITE AT ALL TIMES AND FOR THE BEHAVIOR OF INDIVIDUALS WITH RESPECT TO THE ADJACENT AREAS. THE PROJECT SITE SHALL BE DRUG AND ALCOHOL FREE.
18. REFER TO ADDITIONAL NOTES BY STRUCTURAL AND MEP DISCIPLINES, WHERE VARIOUS DISCIPLINES INDICATE WORK FOR DIFFERING DISCIPLINES (FOR EXAMPLE, MECHANICAL WORK WHICH WOULD REQUIRE STRUCTURAL MODIFICATIONS), THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK.

GENERAL NOTES

19. REFER TO MEP SITE PLANS FOR NEW ELECTRIC SERVICE, SITE LIGHTING AND OTHER UTILITIES.
20. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS. THE LOCATION OF UTILITIES IS BASED ON THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
21. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
22. ALL WOOD BLOCKING TO BE FIRE RETARDANT.
23. CONTROLS AND OPERATING MECHANISMS:
(A) GENERAL: ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH DETAILS PROVIDED. SUCH MECHANISMS MAY INCLUDE, BUT ARE NOT LIMITED TO THERMOSTATS, LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS, ELECTRICAL OUTLETS, ETC.



- (B) HEIGHT. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN AT LEAST ONE OF THE REACH RANGES PROVIDED IN THE DETAILS. EXCEPT WHERE OTHERWISE NOTED, ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR.
- (C) OPERATION. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE LBS.

24. SIGNAGE: SIGNS AT ALL DESIGNATED HANDICAPPED TOILET ROOMS SHALL COMPLY WITH THIS PARAGRAPH.
(A) CHARACTER PROPORTION. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10, UTILIZING AN UPPER-CASE "X" FOR MEASUREMENT.
(B) COLOR CONTRAST. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND; LIGHT COLORED CHARACTERS ON DARK BACKGROUNDS ARE REQUIRED.
(C) TACTILE CHARACTERS AND SYMBOLS. CHARACTERS, SYMBOLS, OR PICTOGRAPHS ON SIGNS REQUIRED TO BE TACTILE, SHALL BE RAISED 1/32 INCH MINIMUM. LETTERS AND NUMBERS SHALL BE SANS SERIF CHARACTERS, SHALL BE AT LEAST 5/8 INCH HIGH, BUT SHALL BE NO HIGHER THAN TWO INCHES AND SHALL BE PROPORTIONED IN ACCORDANCE WITH SUB-PARAGRAPH (B) OF THIS PARAGRAPH. NOTE: BRAILLE CHARACTERS MAY BE USED IN ADDITION TO STANDARD ALPHABET CHARACTERS AND NUMBERS, BUT MAY NOT BE USED EXCLUSIVELY. IF USED, BRAILLE CHARACTERS SHALL BE PLACED TO THE LEFT OF STANDARD CHARACTERS. RAISED BORDERS AROUND RAISED CHARACTERS ARE DISCOURAGED.
(D) MOUNTING HEIGHT AND LOCATION. TACTILE SIGNAGE USED FOR ROOM IDENTIFICATION SHALL BE MOUNTED ON THE WALL ON THE LATCH (STRIKE) SIDE OF DOORS AT A HEIGHT OF 60" ABOVE FINISHED FLOOR TO CENTERLINE OF SIGN.
(E) SYMBOLS OF ACCESSIBILITY. IF ACCESSIBLE TOILETS ARE IDENTIFIED, THEN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE USED. THE SYMBOL SHALL BE DISPLAYED AS SHOWN BELOW.
25. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MISCELLANEOUS STEEL OR DECORATIVE STEEL SHOWN ON ARCHITECTURAL SHEETS WHETHER SHOWN OR DETAILED ON STRUCTURAL SHEETS. FOR MEMBERS SHOWN BUT NOT SIZED THE FOLLOWING APPLIES:
(A) LOOSE ANGLES: 4" X 4" X 3/8"
(B) TUBE STEEL: 5" X 5" X 1/4"
(C) WIDE FLANGE: W12 X 16
(D) LOOSE CHANNELS: C8 X 13.75

26. ALL SUBCONTRACTORS AND CONSTRUCTION WORKERS MUST READ THE WRITTEN SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL. THE SPECIFICATIONS CONTAIN ADDITIONAL SURFACE PREPARATION OR INSTALLATION REQUIREMENTS FOR THE BUILDING MATERIALS, PRODUCTS OR COMPONENTS THAT ARE BEING PLACED OR INSTALLED.
27. THE INSTALLATION / APPLICATION INFORMATION SHOWN ON THE DRAWINGS IS NOT COMPLETE WITHOUT THE WRITTEN SPECIFICATIONS. IF THE SPECIFICATIONS / PROJECT MANUAL IS NOT WITH THESE DRAWINGS, ASK THE GENERAL CONTRACTOR FOR A COPY TO REVIEW BEFORE BEGINNING YOUR WORK.

APPLICABLE BUILDING CODES & AUTHORITIES

2018 International Building Code
2018 International Residential Code
2018 International Existing Building Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fuel Gas Code
2018 International Fire Code
2018 International Energy Conservation Code
2017 National Electric Code

Local amendments to the above-listed codes may be viewed on the Development Services Department website: www.sanantonio.gov/dsd

CODE REVIEW SUMMARY

LOCATION:		818 AUSTIN SAN ANTONIO, TEXAS 78208		
OCCUPANCY CLASSIFICATION				
BUILDING TYPE: ASSEMBLY B	CONSTRUCTION TYPE: II-B; NOT SPRINKLED	AREA SCOPE: 2,204 S.F.		

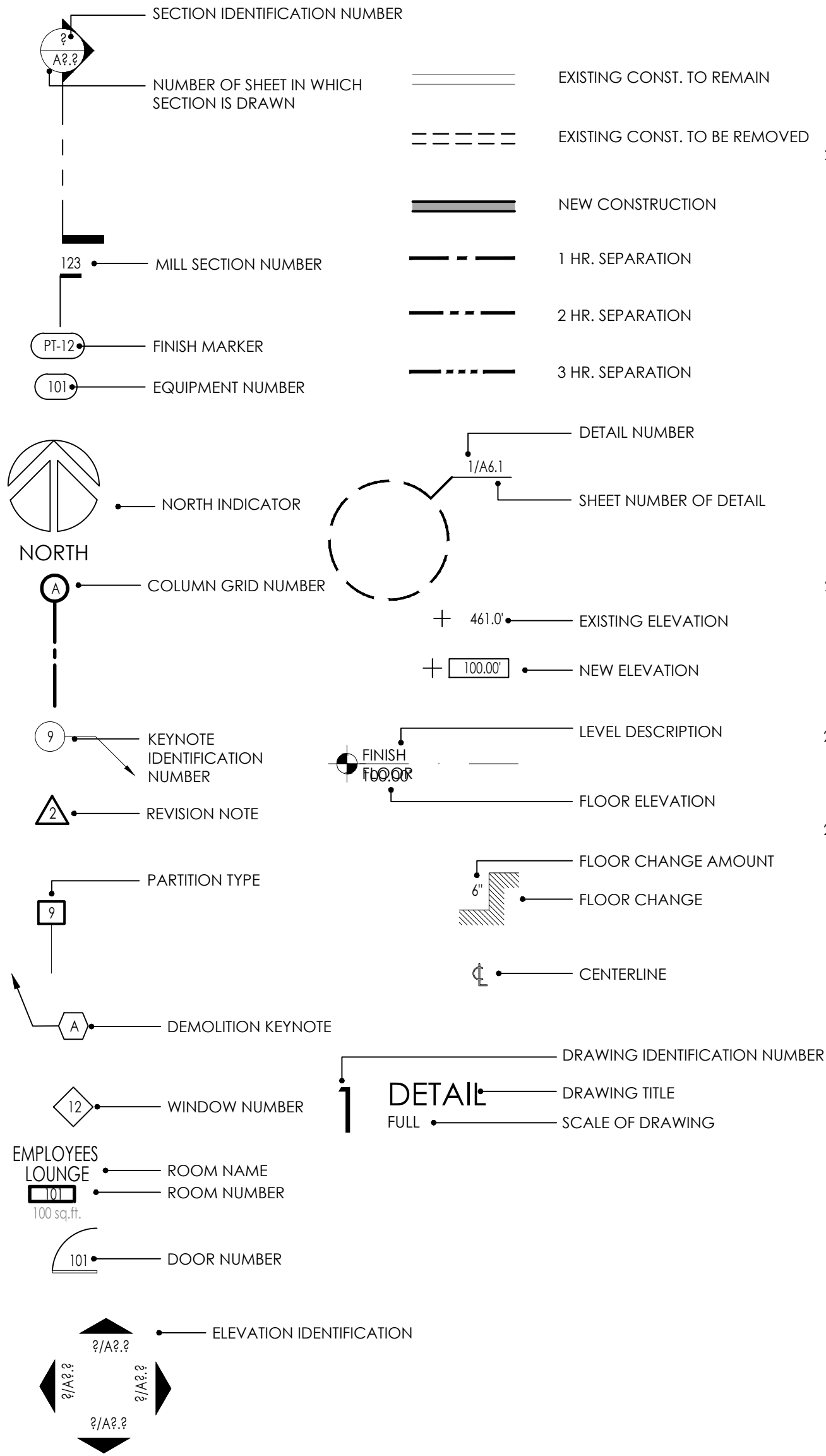
DRAWING INDEX

- GENERAL
- A0.01 COVER SHEET / INDEX/SURVEY
- ARCHITECTURAL
- A1.01 SITE PLAN & SURVEY
A2.00 DEMO PLAN
A2.01 FLOOR PLAN & WALL TYPES
A2.02 OCCUPANT LOAD, EGRESS PATH & SCHEDULES
A3.01 RCP, ADA RAMP, & HANDRAIL DETAILS
A3.02 ROOF PLAN, PATIO ELEVATIONS, INTERIOR ELEVATIONS

LOCATION MAP - CITY



LEGEND



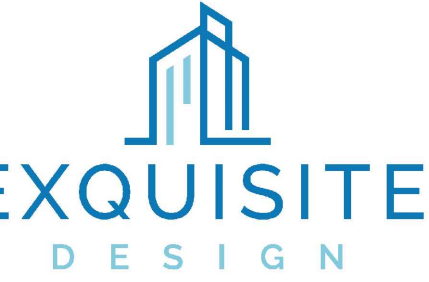
818 Austin St.

818 Austin Street
San Antonio, TX 78208

DESIGN TEAM

EXQUISITE DESIGN
1270 N LOOP 1604 E #1201
SAN ANTONIO, TEXAS 78232
210.421.8890
GENEVIE@EXQUISITESA.COM

Set # _____



DATE
EXP. DATE
EXQUISITE DESIGN
1270 N LOOP 1604 E #1201
SAN ANTONIO, TEXAS 78232
VOICE : (210) 421-8890
GENEVIE@EXQUISITESA.COM

Austin Street
Remodel

818 Austin St.
San Antonio, TX 78208

OWNER
Clint Belew
David House

818 Austin St.
San Antonio, TX 78208

PROJECT NUMBER
21-Austin

CONSTRUCTION DOCS
ISSUED FOR PERMIT

NO. DATE DESCRIPTION OF ISSUE

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SHEET TITLE

Cover Sheet / /index

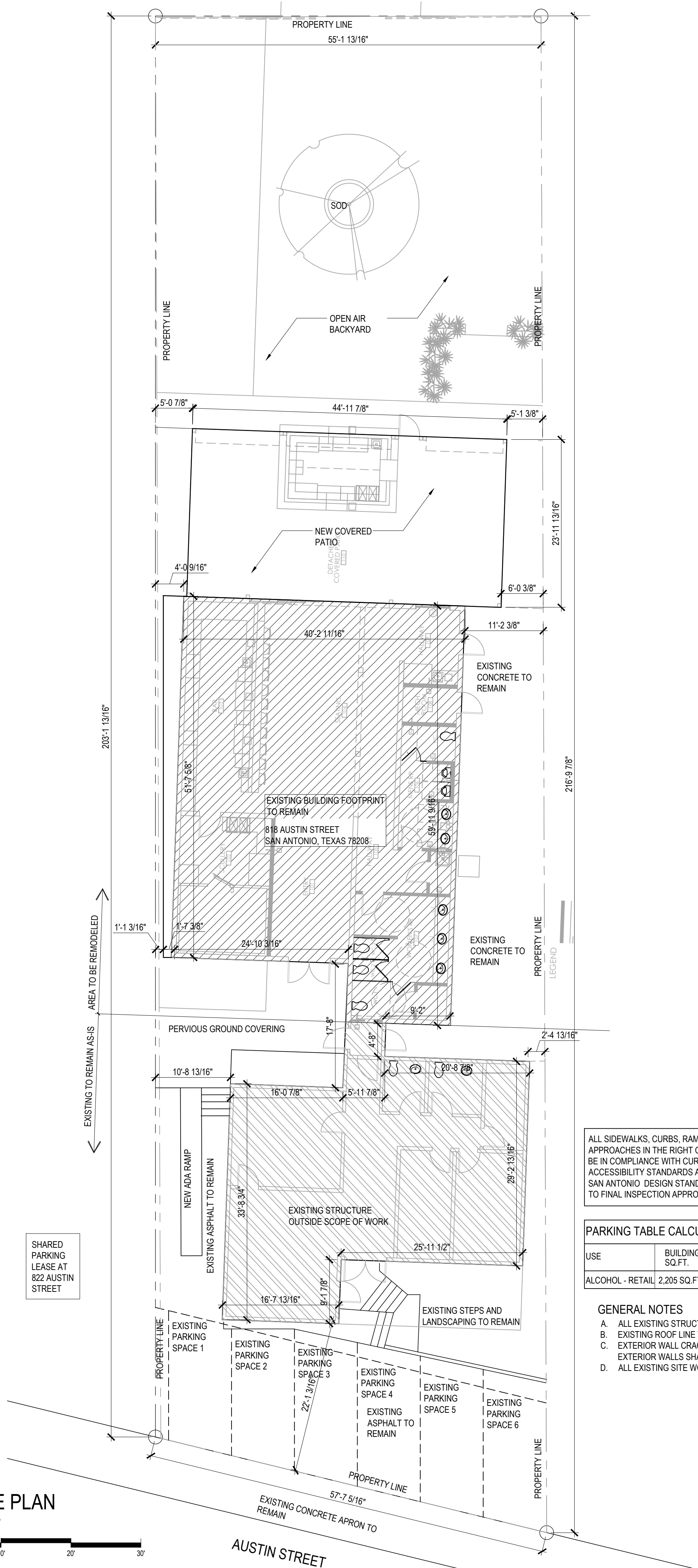
DATE
25 July 2022

SHEET NUMBER

A0.01



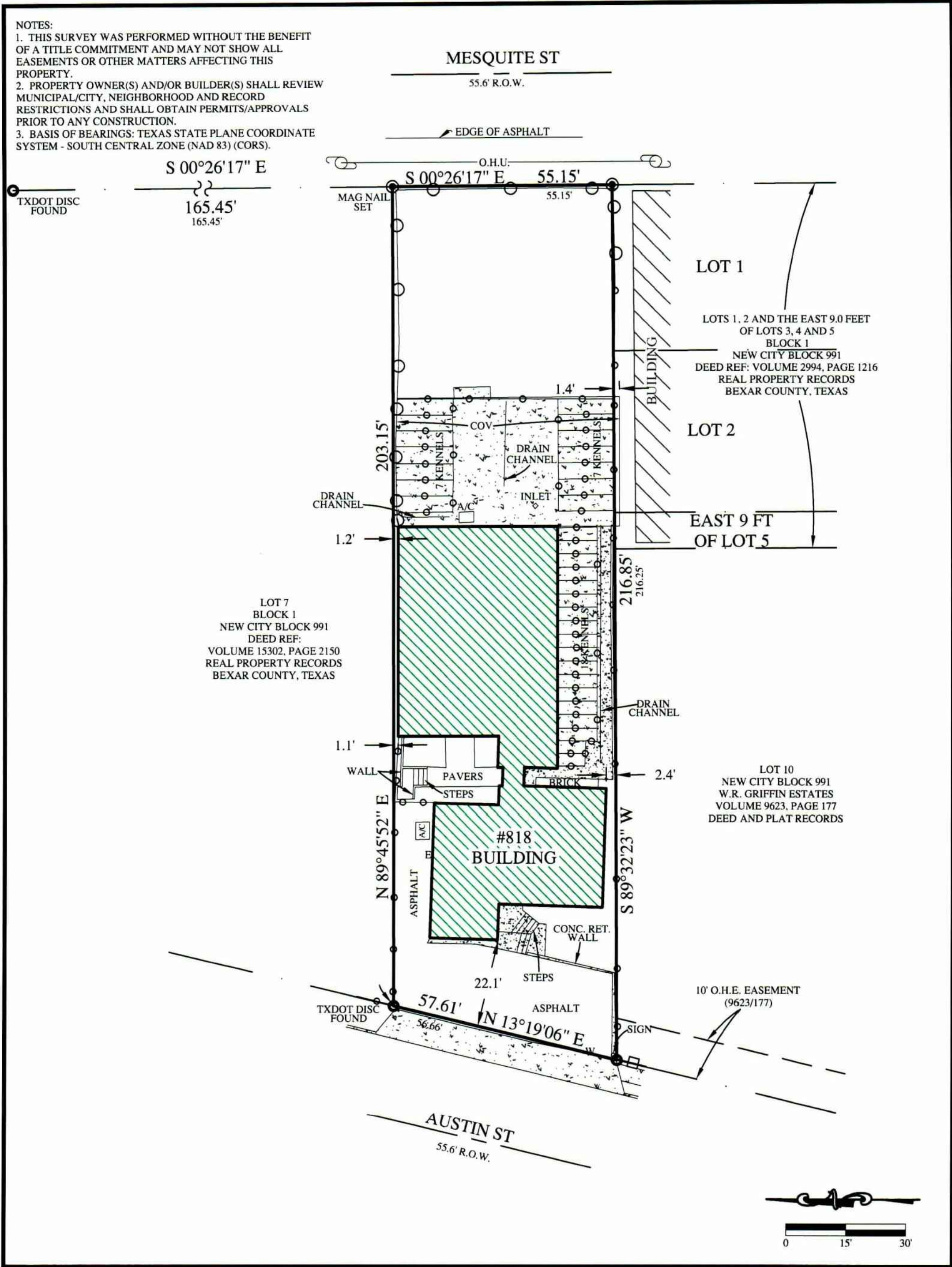
1 SITE PLAN
1" = 10'-0"



ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.

PARKING TABLE CALCULATIONS				
USE	BUILDING SQ.FT.	MIN. 1 PER 300 GFA	MAX. 1 PER 200 SF GFA	
ALCOHOL - RETAIL, 2,205 SQ.FT.		8 SPACES	12 SPACES	

- GENERAL NOTES
- ALL EXISTING STRUCTURES TO REMAIN THE SAME
 - EXISTING ROOF LINE TO REMAIN THE SAME
 - EXTERIOR WALL CRACKS AND GAPS TO BE FILLED, ENTIRE
 - EXTERIOR WALLS SHALL BE PAINTED, COLOR TBD
 - ALL EXISTING SITE WORK TO REMAIN THE SAME



SURVEY OF: LOT 6, BLOCK 1, NEW CITY BLOCK 991, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS,

ADDRESS 818 AUSTIN ST. ACCORDING TO: U.S. POSTAL SER.
JOHNSON SURVEYING JOB NO. 602-001-000

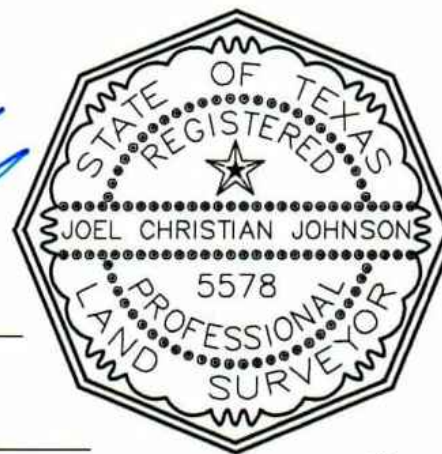
RECORD INFORMATION
N89°27'41"E 65.00'
AS MEASURED IN FIELD
S33°29'20"W 161.24'
Legend:
IRON / WROUGHT IRON
CHAIN LINK FENCE
METAL SHEET FENCE
UTILITY POLE
W - WATER METER
E - ELEC. METER (VOLUME/PAGE)
CONCRETE
O.H.U. - OVERHEAD UTILITY
1/2" IRON ROD SET WITH CAP MARKED "RPLS 5578"

JOHNSON SURVEYING, INC.

Registered Professional Land Surveyor
17890 BLANCO RD, STE. 306, SAN ANTONIO, TX 78232
(210) 858-9838 * (210) 247-6138 fax

I, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE SURVEY PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE PROPERTY HEREON DESCRIBED ACCORDING TO MEASUREMENTS MADE ON THE GROUND, AND THAT THIS SURVEY ACCURATELY DEPICTS THE SUBSTANTIAL VISIBLE IMPROVEMENTS TO SAID PROPERTY. IT IS UNDERSTOOD THAT A FORMAL CERTIFICATION IS BEING MADE BY A COMPANY SPECIALIZING IN THE PROCEDURE OF PROVIDING FLOOD CERTIFICATIONS AND THIS SURVEY MAKES NO REFERENCE TO FLOOD INFORMATION. SETBACKS AND EASEMENTS TO WHICH WE HAVE BEEN INFORMED ARE SHOWN ON DRAWING OR BY REFERENCE.

JOEL CHRISTIAN JOHNSON, R.P.L.S.



OCTOBER 2, 2012
DATE:

2 SURVEY
NO SCALE

Austin Street Remodel

818 Austin St.
San Antonio, TX 78208

OWNER
Clint Belew
David House

818 Austin St.
San Antonio, TX 78208

PROJECT NUMBER
21-Austin

CONSTRUCTION DOCS
ISSUED FOR PERMIT

NO. DATE DESCRIPTION OF ISSUE

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SHEET TITLE

Site Plan

DATE
25 July 2022

SHEET NUMBER

BAR LENGTH ON
ORIGINAL DRAWING
EQUALS 1 INCH

A1.01



818 Austin St.
San Antonio, TX 78208

818 Austin St.
San Antonio, TX 78208

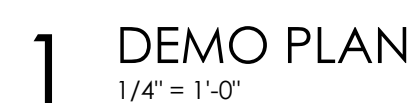
CONSTRUCTION DOCS
ISSUED FOR PERMIT

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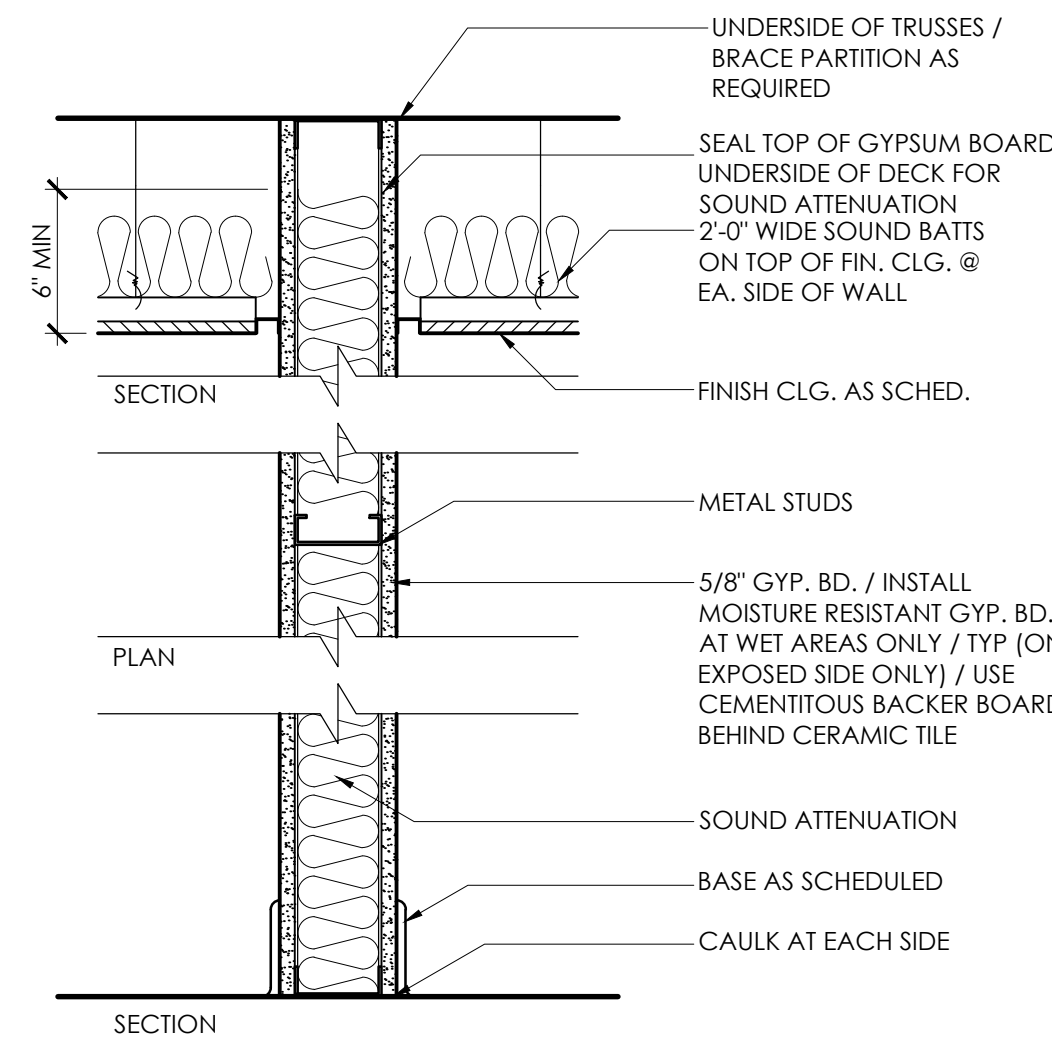
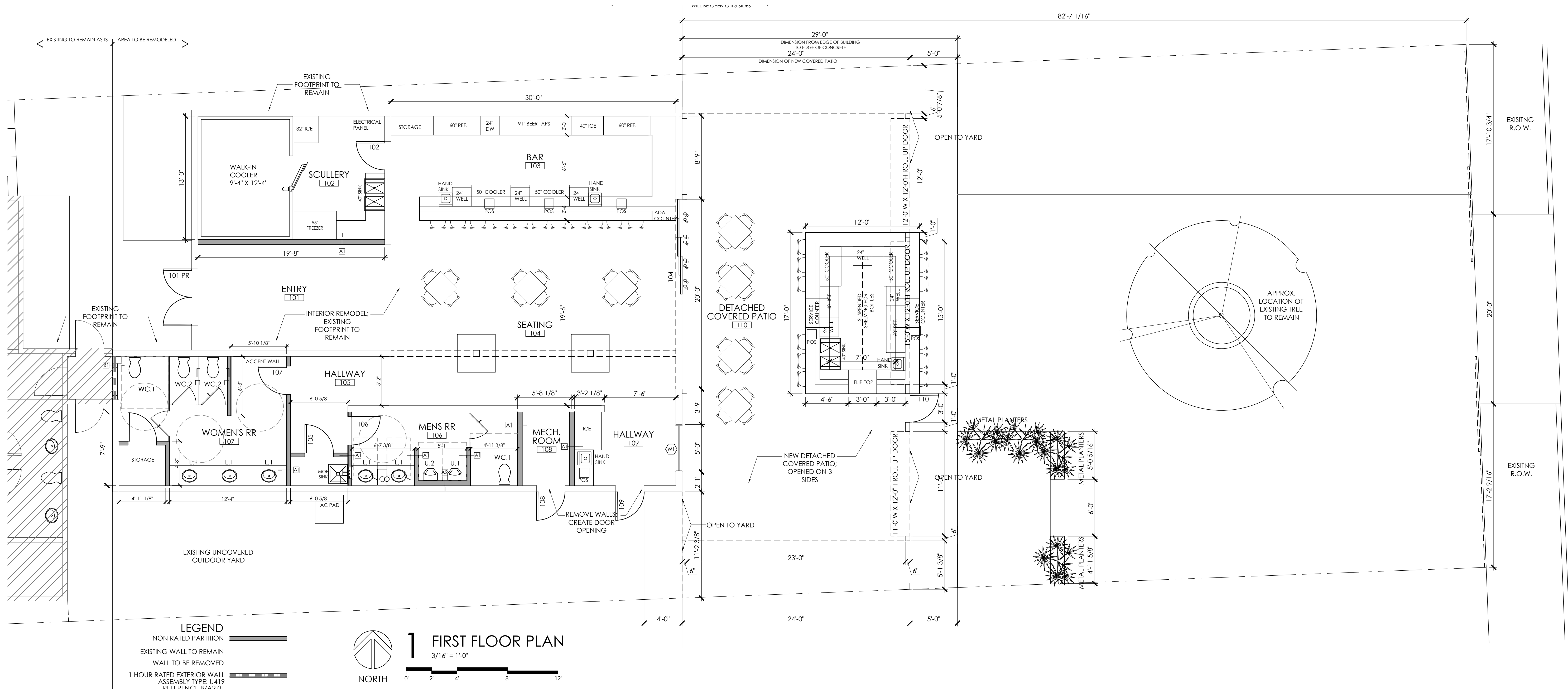
Demo Plan

BAR LENGTH ON
ORIGINAL DRAWING
EQUALS 1 INCH

A2.00

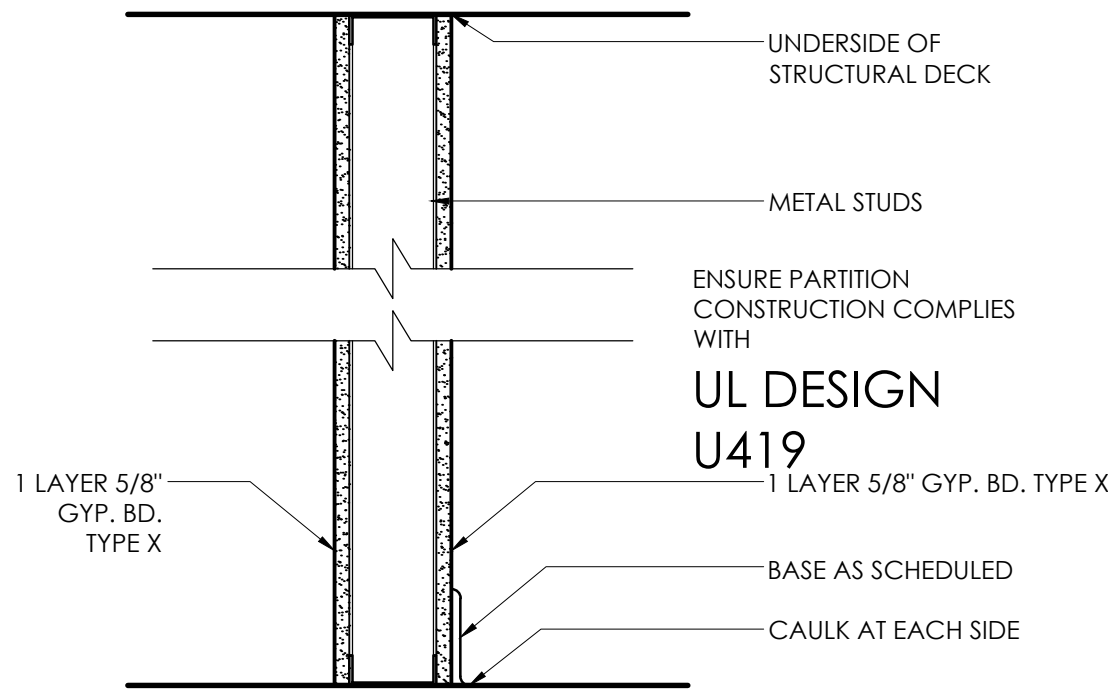


NON RATED PARTITION
EXISTING WALL TO REMAIN
WALL TO BE REMOVED



TYPE	STUD SIZE	STUD GAUGE	STUD SPACING	WALL THICKNESS	INSUL	FIRE RATING	S.T.C.
A1	3-5/8"	20	16" OC	4-7/8"	3-1/2"		40
A2	6"	20	16" OC	7-1/4"	5"		40

A WALL TYPE A
1-1/2" = 1'-0"



TYPE	STUD SIZE	STUD GAUGE	STUD SPACING	WALL THICKNESS	INSUL	FIRE RATING
B1	3-5/8"	20	16" OC	4-7/8"		1 HR

B WALL TYPE B
1-1/2" = 1'-0"

Austin Street Remodel

818 Austin St.
San Antonio, TX 78208

OWNER: Clint Belew
David House
818 Austin St.
San Antonio, TX 78208

PROJECT NUMBER: 21-Austin
CONSTRUCTION DOCS
ISSUED FOR PERMIT

NO. DATE DESCRIPTION OF ISSUE

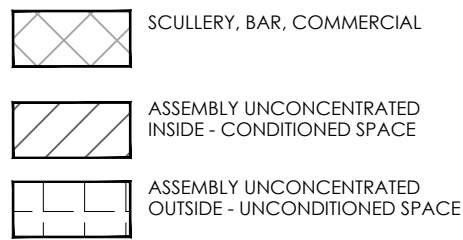
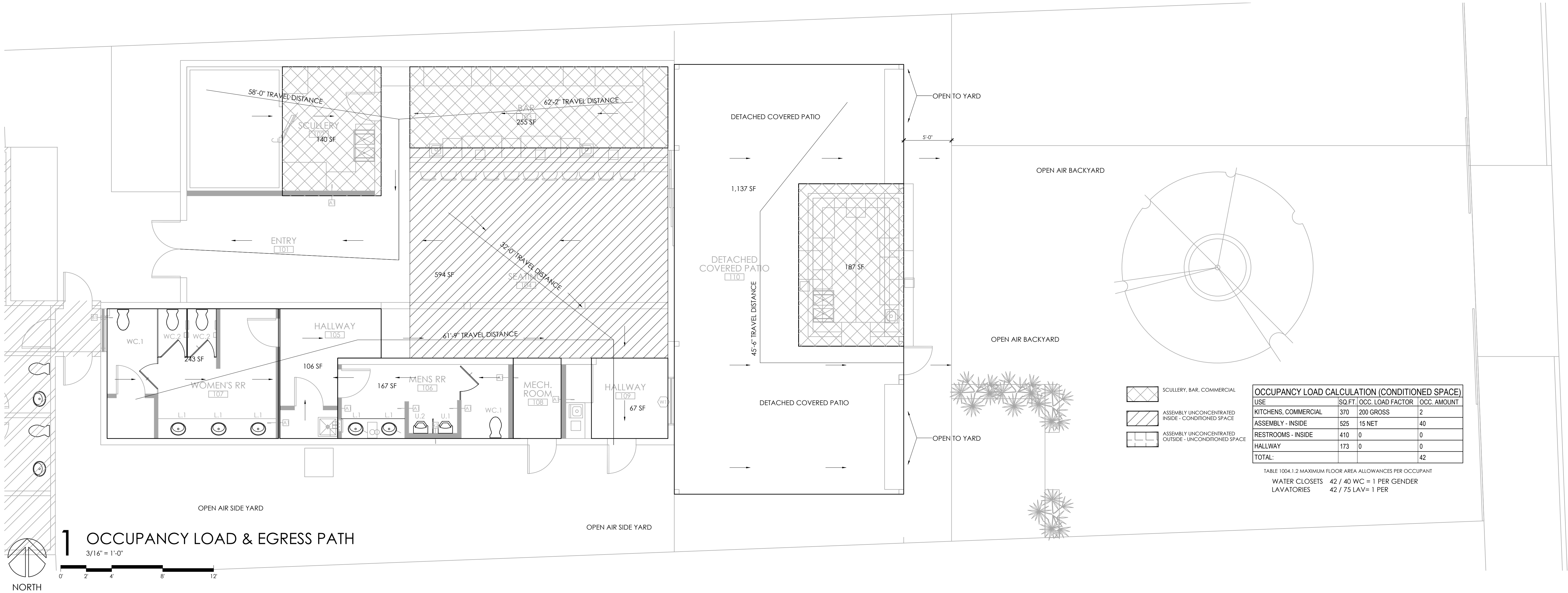
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SHEET TITLE: Floor Plan

DATE: 25 July 2022

SHEET NUMBER

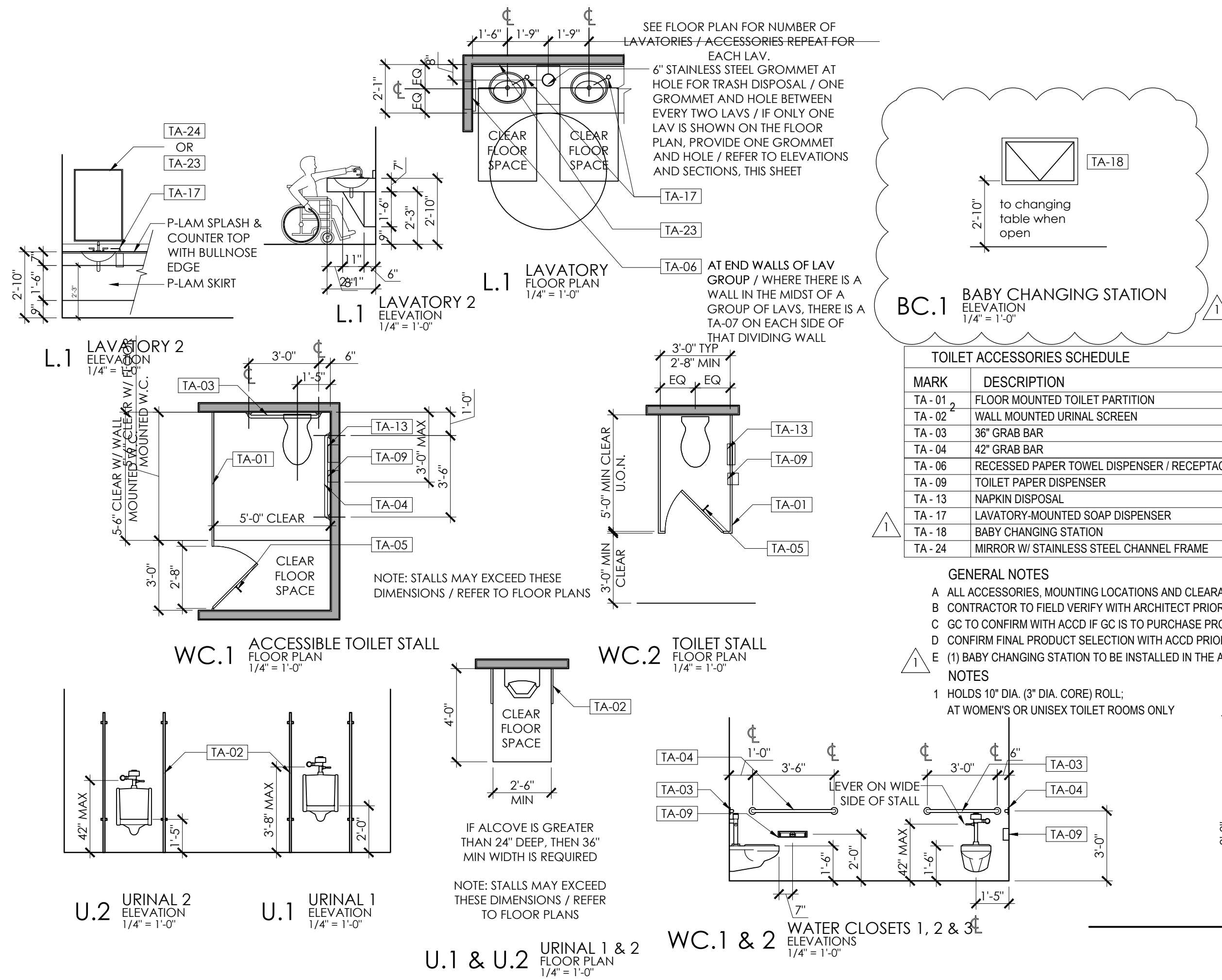


OCCUPANCY LOAD CALCULATION (CONDITIONED SPACE)				
USE	SQ.FT.	OCC. LOAD FACTOR	OCC. AMOUNT	
KITCHENS - COMMERCIAL	370	200 GROSS	2	
ASSEMBLY - INSIDE	525	15 NET	40	
RESTROOMS - INSIDE	410	0	0	
HALLWAY	173	0	0	
TOTAL:			42	

TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT
WATER CLOSETS 42 / 40 WC = 1 PER GENDER
LAVATORIES 42 / 75 LAV = 1 PER

1 OCCUPANCY LOAD & EGRESS PATH

3/16" = 1'-0"



TOILET ACCESSORIES SCHEDULE			
MARK	DESCRIPTION	MANUFACTURER	MODEL NO. NOTES
TA-01	FLOOR MOUNTED TOILET PARTITION		
TA-02	WALL MOUNTED URINAL SCREEN		
TA-03	36" GRAB BAR	BOBRICK	#5806
TA-04	42" GRAB BAR	BOBRICK	#5806
TA-06	RECESSED PAPER TOWEL DISPENSER / RECEPTACLE	AMERICAN SPECIALTIES	#046924
TA-09	TOILET PAPER DISPENSER		
TA-13	NAPKIN DISPOSAL	AMERICAN SPECIALTIES	#0472
TA-17	LAVATORY-MOUNTED SOAP DISPENSER	BOBRICK	822
TA-18	BABY CHANGING STATION	BOBRICK	#2230 E
TA-24	MIRROR W/ STAINLESS STEEL CHANNEL FRAME		

- GENERAL NOTES
- A. ALL ACCESSORIES, MOUNTING LOCATIONS AND CLEARANCES SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS (TAS) AND THE ADA
- B. CONTRACTOR TO FIELD VERIFY WITH ARCHITECT PRIOR TO INSTALLATION
- C. GC TO CONFIRM WITH ACDD IF GC IS TO PURCHASE PRODUCTS OR IF ACDD WILL PURCHASE DIRECTLY FROM VENDOR
- D. CONFIRM FINAL PRODUCT SELECTION WITH ACDD PRIOR TO PURCHASING
- E. (1) BABY CHANGING STATION TO BE INSTALLED IN THE ADA WOMEN'S RESTROOM
- NOTES
1. HOLDS 10" DIA. (3" DIA. CORE) ROLL;
- AT WOMEN'S OR UNISEX TOILET ROOMS ONLY

HARDWARE SCHEDULE

- SET 01
- 3 HINGES
- 1 ENTRANCE LOCKSET
- 1 DOOR CLOSER
- 1 WALL STOP
- 3 DOOR SILENCERS
- SET 02
- 3 HINGES
- 1 PRIVACY DOOR LEVER
- 1 WALL STOP
- SET 03
- 1 SLIDING DOOR HARDWARE
- 2 PRIVACY DOOR LEVER
- SET 04
- 3 HINGES
- 1 PASSAGE DOOR LEVER
- 1 WALL STOP

ROOM FINISH SCHEDULE

RM NO.	ROOM NAME	BASE	FLOOR	WALL FINISH				CEILING
				NORTH	SOUTH	EAST	WEST	
101	ENTRY	B-1	F-1	W-1	W-2	W-1	W-1	C-1
102	SOULLERY		F-3	W-1	W-1	W-1	W-1	C-2
103	BAR		F-3	W-2	W-2	W-2	W-2	C-1
104	SEATING	B-3	F-1	W-1	W-1	W-1	W-1	C-1
105	HALLWAY	B-2	F-1	W-2	W-2	W-1	W-1	C-1
106	MEN'S RR		F-1	W-1	W-2	W-2	W-1	C-2
107	WOMEN'S RR		F-2	W-1	W-2	W-1	W-2	C-2
108	MECH ROOM	B-2	F-1	W-1	W-1	W-1	W-1	C-2
109	HALLWAY	B-2	F-1	W-1	W-1	W-1	W-1	C-2
110	DETACHED COVERED PATIO		F-1, F-3					C-3
111	TOILET 1		F-2	W-2	W-2	W-2	W-2	C-2
112	TOILET 2		F-2	W-2	W-2	W-2	W-2	C-2
113	TOILET 3		F-2	W-2	W-2	W-2	W-2	C-2
114	TOILET 4		F-2	W-2	W-2	W-2	W-2	C-2

FINISH LEGEND

FLOORS	MATERIAL	MANUFACTURER			ALLOWANCE
F-1	POLISHED CONCRETE	TBD			
F-2	CERAMIC OR PORCELAIN TILE	TBD			
F-3	EPOXY FLOORING	SMOOTH, NON-ABSORBENT, CLEANABLE			
WALLS	MATERIAL	MANUFACTURER	DESCRIPTION	REMARKS	SUBSTRATE
W-1	PT-1	TBD	SCRUBBABLE GYPSUM WALL BOARD	PREP FOR PAINT	
W-2	TILE	TBD	CERAMIC OR PORCELAIN		
BASE	MATERIAL	MANUFACTURER	DESCRIPTION	REMARKS	ALLOWANCE
B-1	VINYL WALL BASE		WHITE; COLOR NAME TBD	TBD	
B-2	NO BASE				
CEILING	MATERIAL	MANUFACTURER	DESCRIPTION	REMARKS	ALLOWANCE
C-1	EXPOSED CEILING	COLOR TBD	PAINTED BLACK		
C-2	GYPSUM WALL BOARD		SCRUBBABLE / CLEANABLE		
C-3	TONGUE AND GROOVE WOOD	TBD	TBD	CLEAR COAT	

DOOR SCHEDULE

DOOR NO.	DOORS			TYPE	MATERIALS				DETAILS				REMARKS
	WIDTH	HEIGHT	THICK		DOOR		FRAME		HEAD	JAMB	THRESH	HANDING	
					MATL	FINISH	MATL	FINISH					
101 PR	3'-0"	8'-0"	1-3/4"	A	METAL	CLEAR	RACO	ALUM	6/A3.01	6/A3.01	7/A3.01	SET 01	
102	3'-0"	7'-0"	1-3/4"	E	HM	PAINT	RACO	ALUM	6/A3.01	6/A3.01	7/A3.01	SET 04	
104	3'-0"	7'-0"	1-3/4"	HM	PAINT	RACO	ALUM	6/A3.01	6/A3.01	7/A3.01	SET 03		
105	3'-0"	7'-0"	1-3/4"	E	HM	PAINT	RACO	ALUM	8/A3.01	8/A3.01	9/A3.01	SET 02	
106	3'-0"	7'-0"	1-3/4"	C	MTL	MTL	RACO	ALUM	8/A3.01	8/A3.01	9/A3.01	SET 02	
107	3'-0"	7'-0"	1-3/4"	C	MTL	MTL	RACO	ALUM	8/A3.01	8/A3.01	9/A3.01	SET 02	
108	3'-0"	7'-0"	1-3/4"	D	HM	MTL	RACO	ALUM	8/A3.01	8/A3.01	9/A3.01	SET 02	
109	3'-0"	8'-0"	1-3/4"	B	METAL	PAINT	RACO	ALUM	8/A3.01	8/A3.01	9/A3.01	SET 02	
111	3'-0"	8'-0"	1-3/4"	F	METAL	CORTEN METAL	METAL					SET 02	
112	3'-0"	8'-0"	1-3/4"	F	METAL	CORTEN METAL	METAL					SET 02	
113	3'-0"	8'-0"	1-3/4"	F	METAL	CORTEN METAL	METAL					SET 02	
114	3'-0"	8'-0"	1-3/4"	F	METAL	CORTEN METAL	METAL					SET 02	

Austin Street Remodel

818 Austin St.
San Antonio, TX 78208

OWNER
Clint Belew
David House

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SHEET TITLE

Occupant Load
Egress Path
Schedules

DATE
25 July 2022

SHEET NUMBER

BAR LENGTH ON
ORIGINAL DRAWING
EQUALS 1" = 1"

A2.02

Austin Street Remodel

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San Antonio, TX 78208

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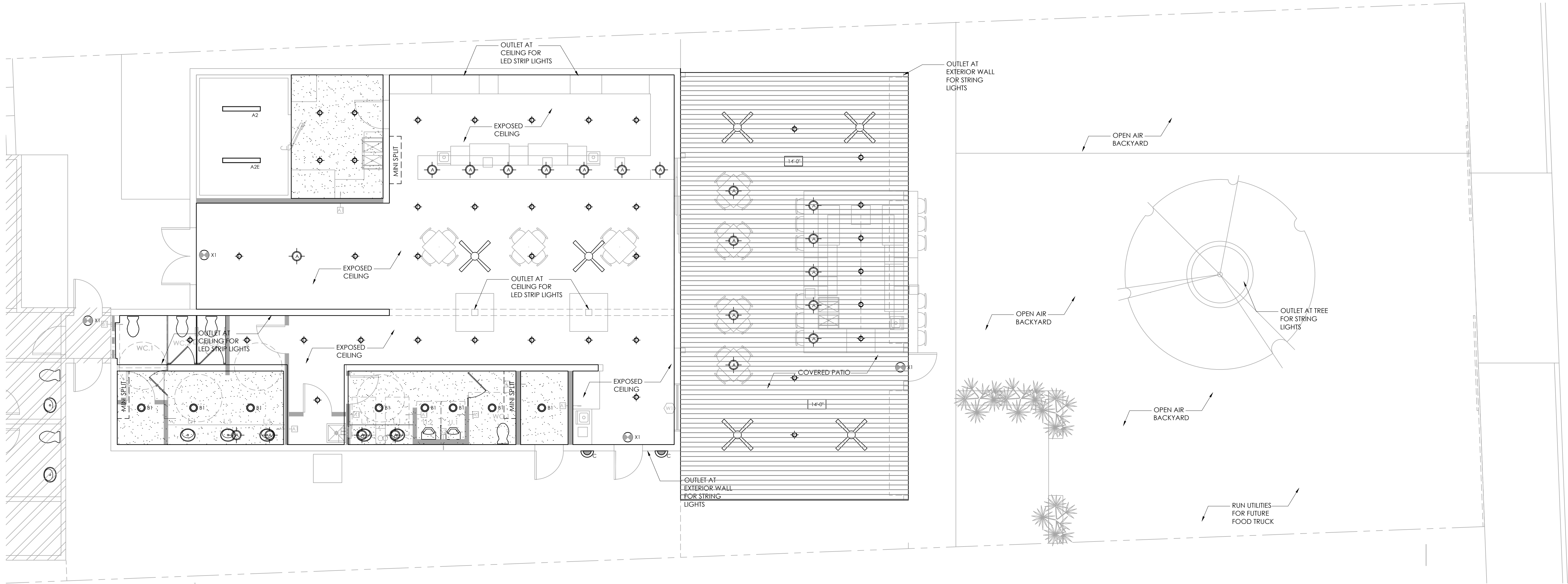
SHEET TITLE

Reflected Ceiling Plan
ADA Ramp Details
Handrail Details

DATE
25 July 2022

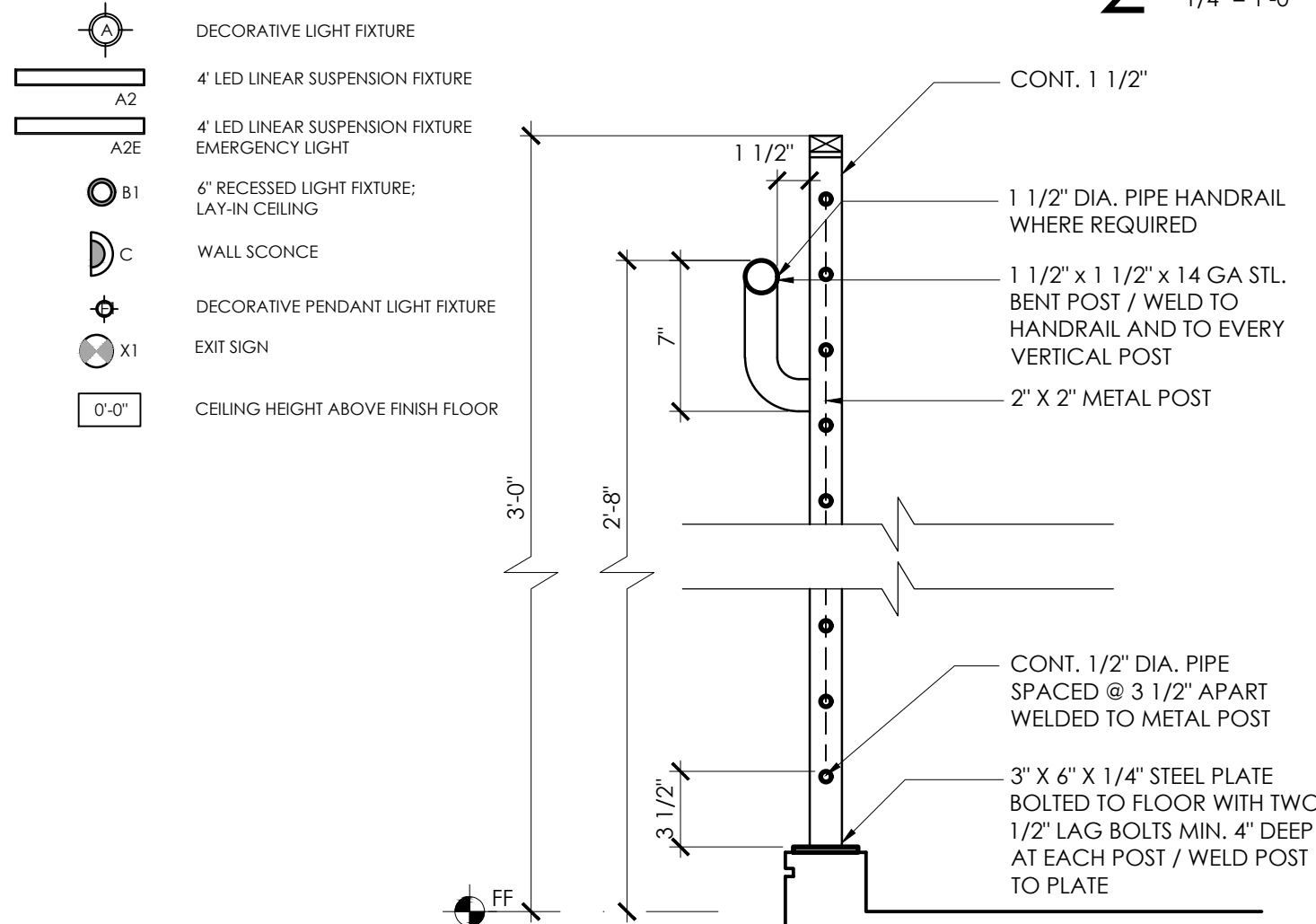
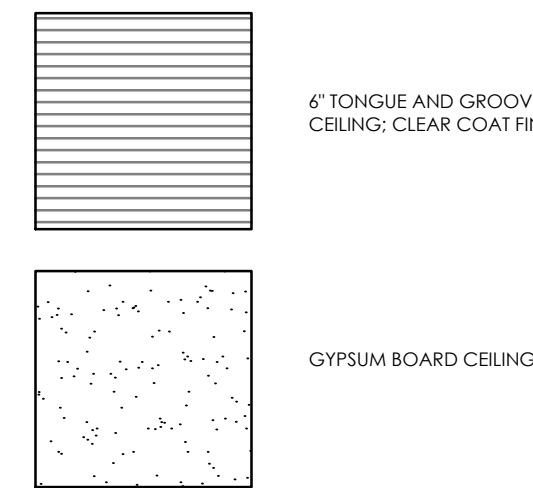
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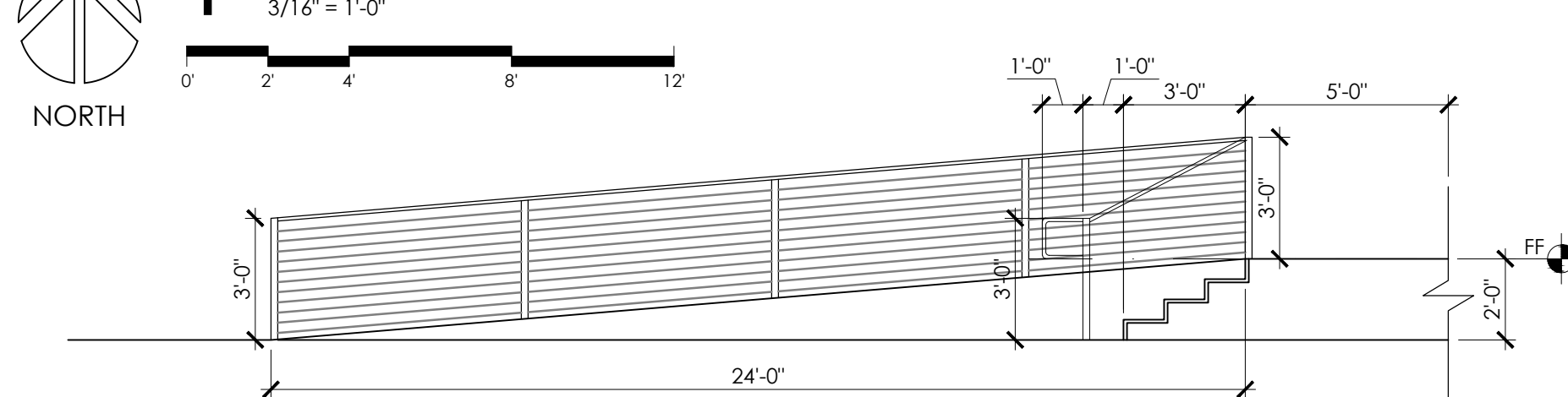
LEGEND

REFER TO ELECTRICAL AND MECHANICAL DRAWINGS

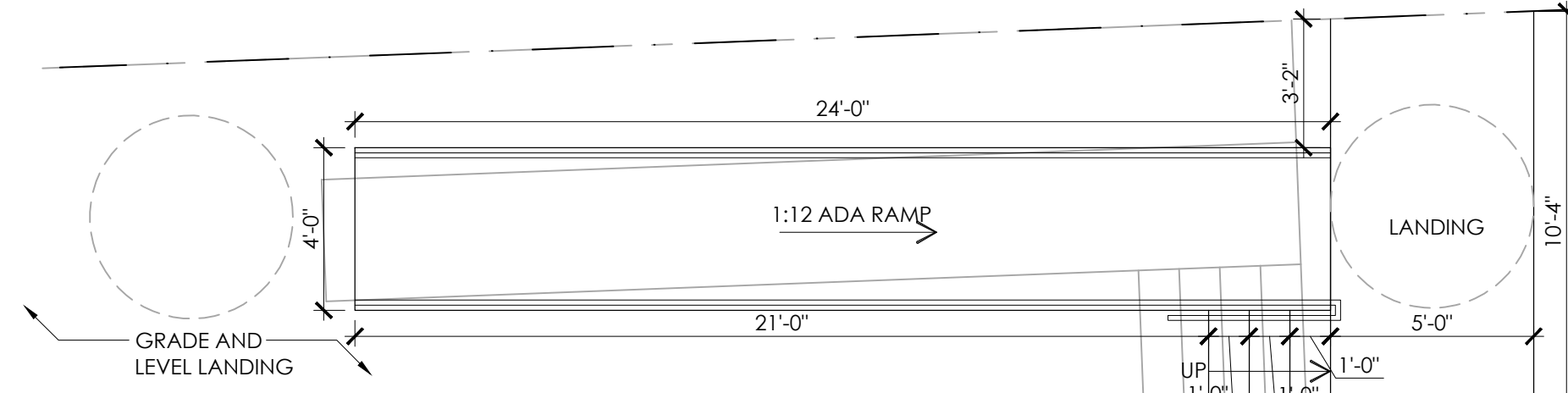


5 HANDRAIL SECTION
1-1/2" = 1'-0"

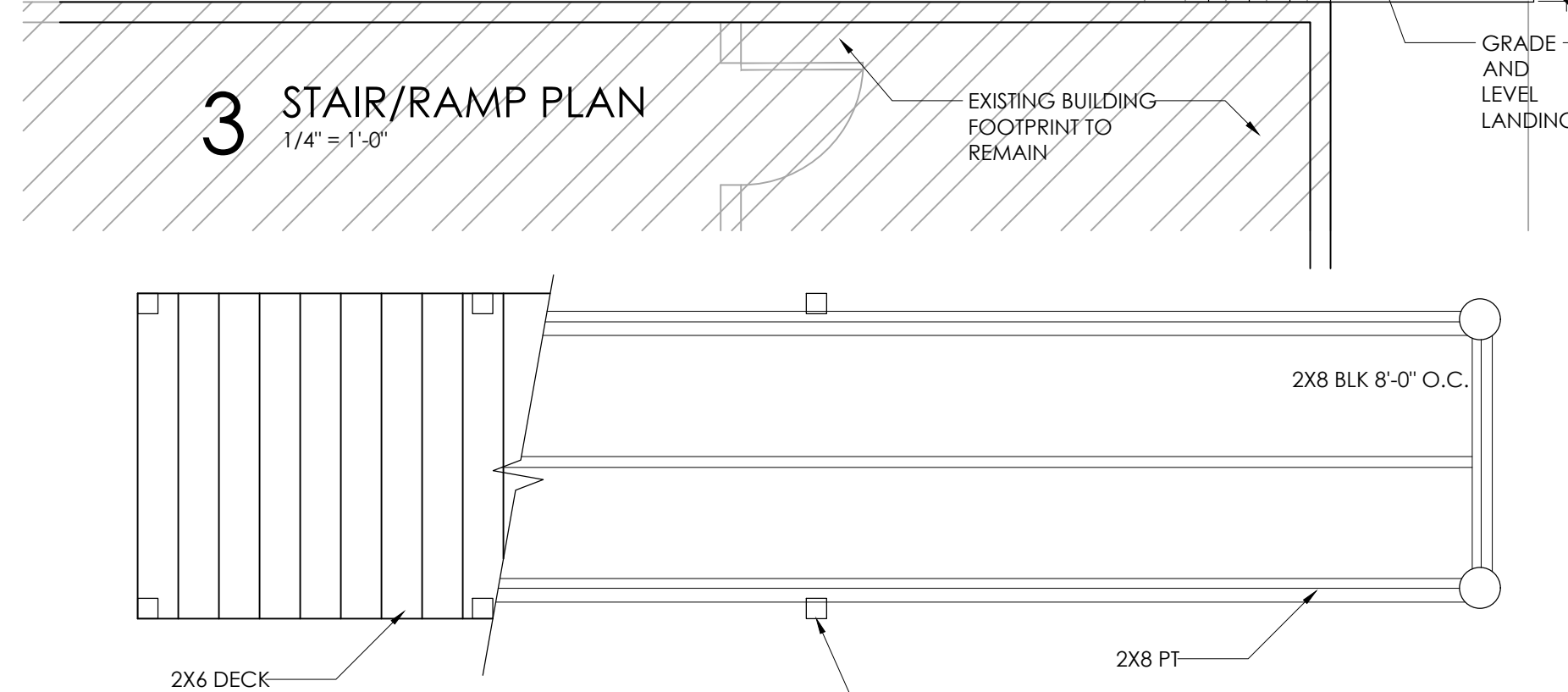
1 REFLECTED CEILING PLAN



2 STAIR/RAMP SIDE ELEVATION
1/4" = 1'-0"



3 STAIR/RAMP PLAN
1/4" = 1'-0"



4 ADA RAMP
1/2" = 1'-0"

STAIR NOTES

1. HANDRAILS

- IBC1011.1.1 HANDRAILS: PROVIDE HANDRAILS ON EACH SIDE OF STAIRCASE
- IBC1014.2 HEIGHT OF HANDRAIL : MEASURED ABOVE STAIR TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE. SHALL BE UNIFORM, NOT LESS THAN 34" AND NOT MORE THAN 38".
- IBC1014.6 HANDRAIL EXTENSIONS; HANDRAILS SHALL EXTEND HORIZONTALLY NOT LESS THAN 12" BEYOND TOP RISER AND CONTINUE TO SLOPE FROM THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.
- IBC1014.6 HANDRAIL EXTENSION; HANDRAILS SHALL RETURN TO A WALL GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT FLIGHT OF STAIRS OR RAMP RUN.
- IBC1014.3 HANDRAIL GRABABILITY; PROVIDE 1/2" CLEARANCE BETWEEN HANDRAIL AND WALL.
- IBC1014.3 HANDRAIL GRABABILITY; HANDRAIL SHALL BE 1 1/4"-2" CLEAR BETWEEN HANDRAIL AND WALL.

2. RISERS AND TREADS

- ALL TREAD SURFACES ARE TO BE SLIP RESISTANT.
- ALL EXPOSED EDGES OF TREADS ARE TO BE SMOOTH, ROUNDED OR CHAMFERED. NO ABRUPT EDGES AT LOWER FRONT EDGE OF NOSING.
- IBC1011.5.2 RISER HEIGHT; STAIR RISER HEIGHTS SHALL BE 7" MAXIMUM AND 4" MINIMUM.
- IBC1011.5.2 RISER HEIGHT; RECTANGULAR TREAD DEPTHS SHALL BE 11" MINIMUM.

3. NOSING

- IBC1011.5.5 NOSING AND RISER PROFILE; NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16" BUT NOT MORE THAN 9/16" FROM THE FOREMOST PROJECTION OF THE TREAD.
- IBC1011.5.5.1 NOSING PROJECTION SIZE; THE LEADING EDGE (NOSING) OF TREADS SHALL PROJECT NOT MORE THAN 1 1/4" BEYOND THE TREAD BELOW.

4. DIMENSIONAL UNIFORMITY

- IBC1011.5.4 DIMENSIONAL UNIFORMITY; STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8" IN A FLIGHT OF STAIRS.

6. ADA COMPLIANCE

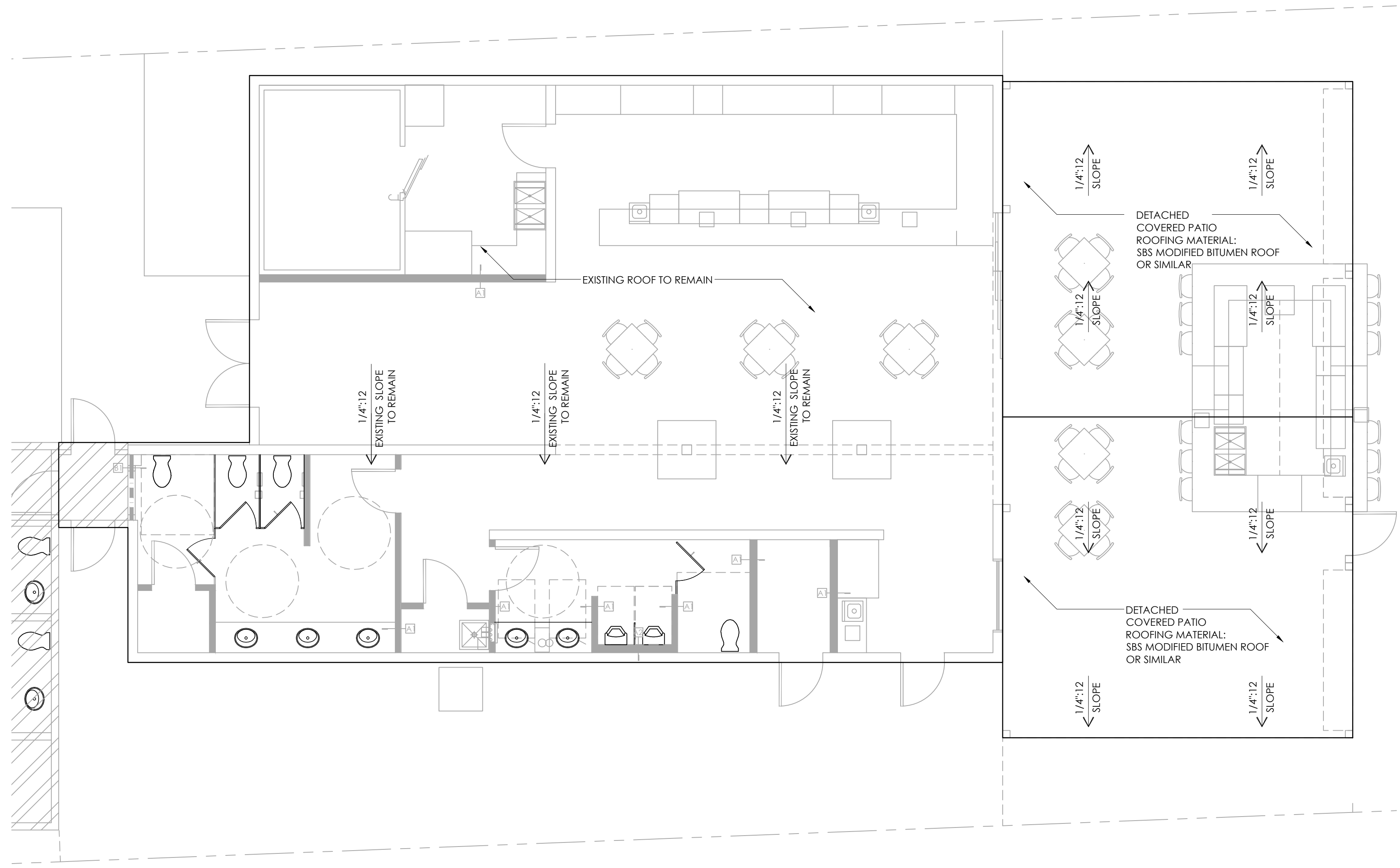
- MARK WITH A 2" WIDE STRIPE OF CONTRASTING COLOR PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING ON THE UPPER APPROACH AND LOWER TREAD OF EACH STAIR. USE A SLIP RESISTANT MATERIAL FOR THE STRIP AT EACH NOSING AND LANDING.

7. STAIRWAY LANDINGS

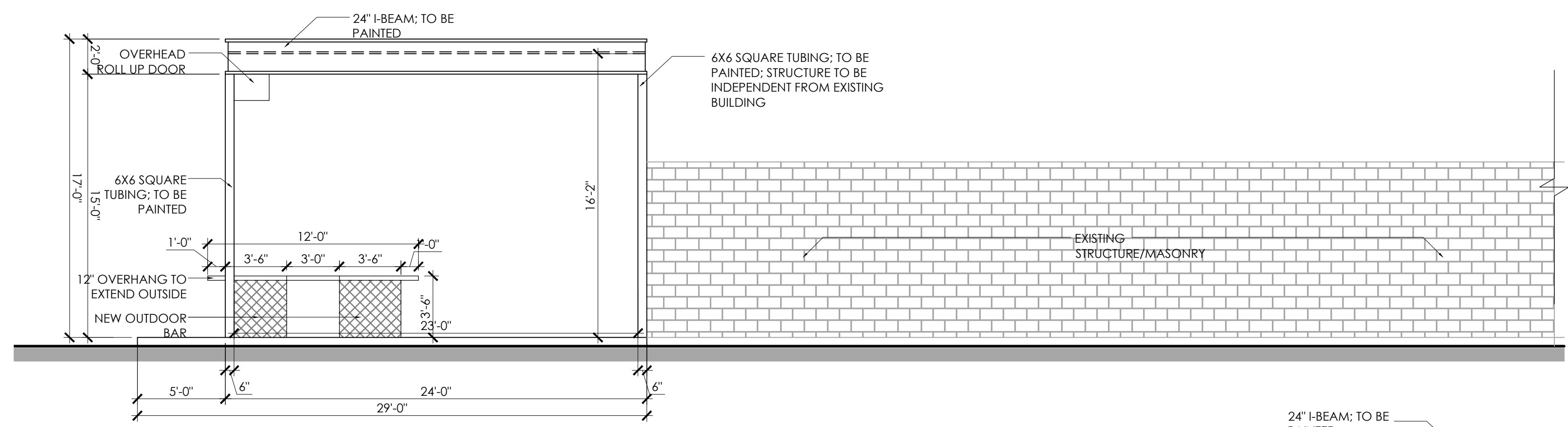
- IBC1011.5.4 STAIRWAY LANDINGS; THE WIDTH OF LANDINGS SHALL BE NOT LESS THAN THE WIDTH OF STAIRWAYS SERVED.
- IBC1015.3 GUARD HEIGHT; REQUIRED GUARDS SHALL BE NOT LESS THAN 42" HIGH.
- IBC1015.4 OPENING LIMITATIONS; REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4" IN DIA. FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.

8. RAMPS

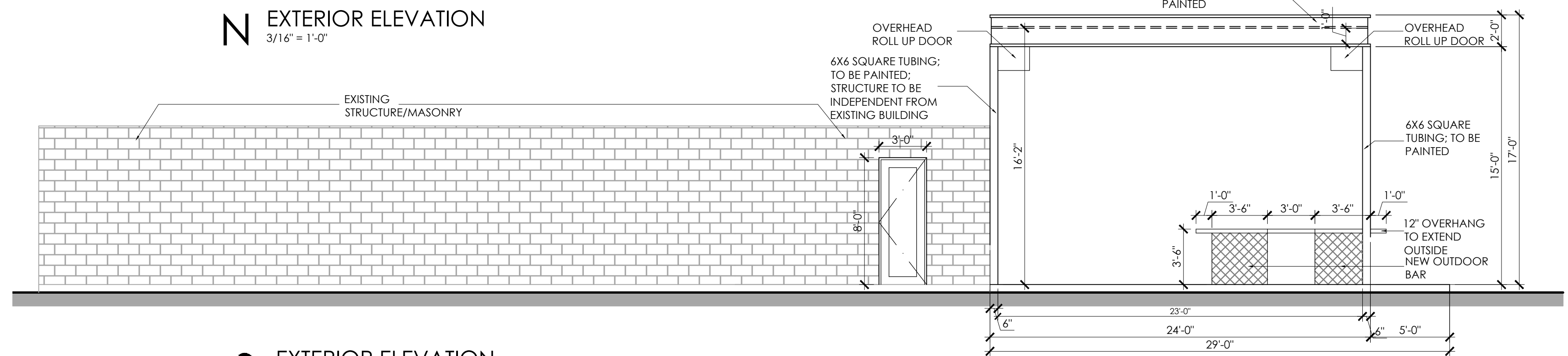
- IBC1012.2 SLOPE; RAMPS USES AS PART OF A MEANS OF EGRESS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (8% SLOPE). THE SLOPE OF OTHER PEDESTRIAN RAMPS SHALL NOT BE STEEPER THAN ONE UNIT VERTICAL IN EIGHT UNITS HORIZONTAL (12.5% SLOPE)
- IBC1012.4 VERTICAL RISE; THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXI
- IBC1012.6.2 LANDING WIDTH; THE LANDING WIDTH SHALL BE NOT LESS THAN THE WIDTH OF THE WIDES RAMP RUN ADJOINING THE LANDING.
- IBC1012.8 HANDRAILS; RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS ON BOTH SIDES.



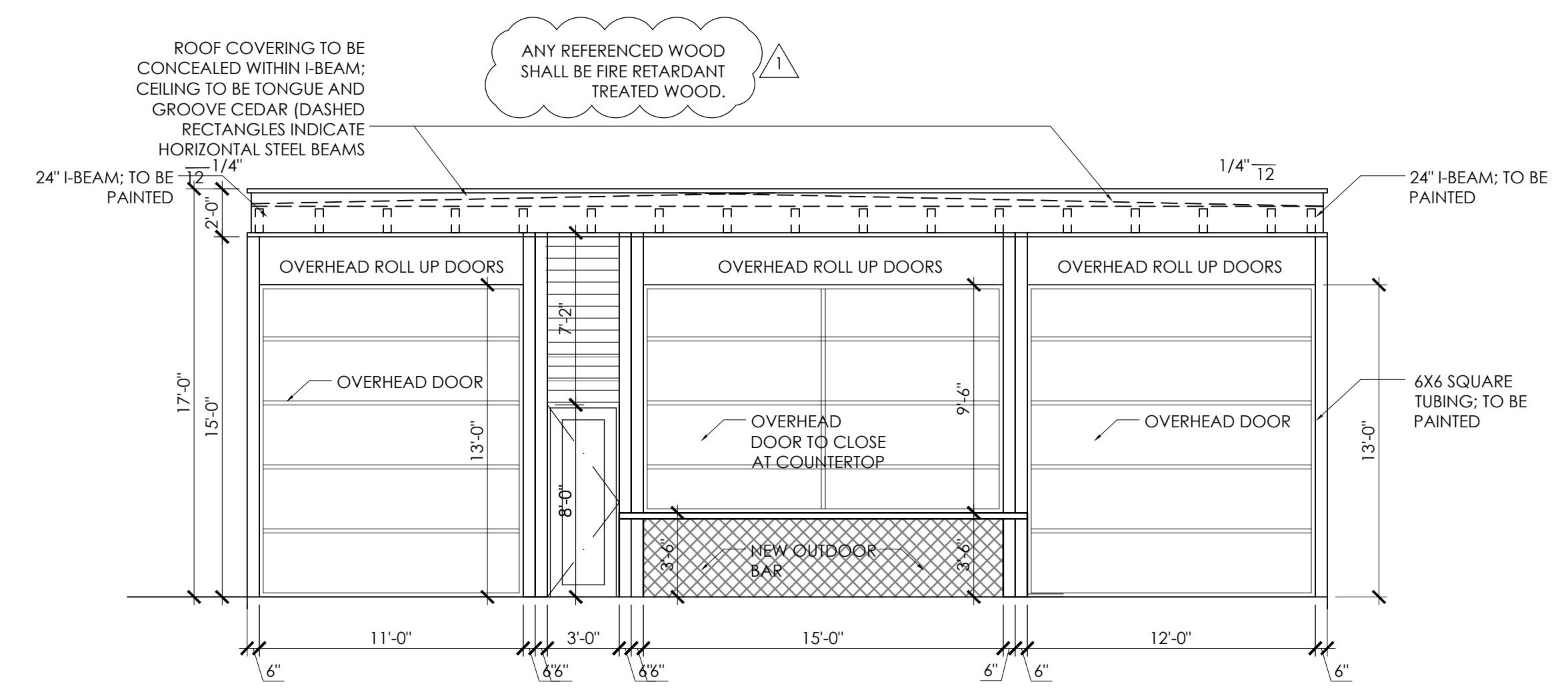
1 ROOF PLAN
3/16" = 1'-0"
NORTH



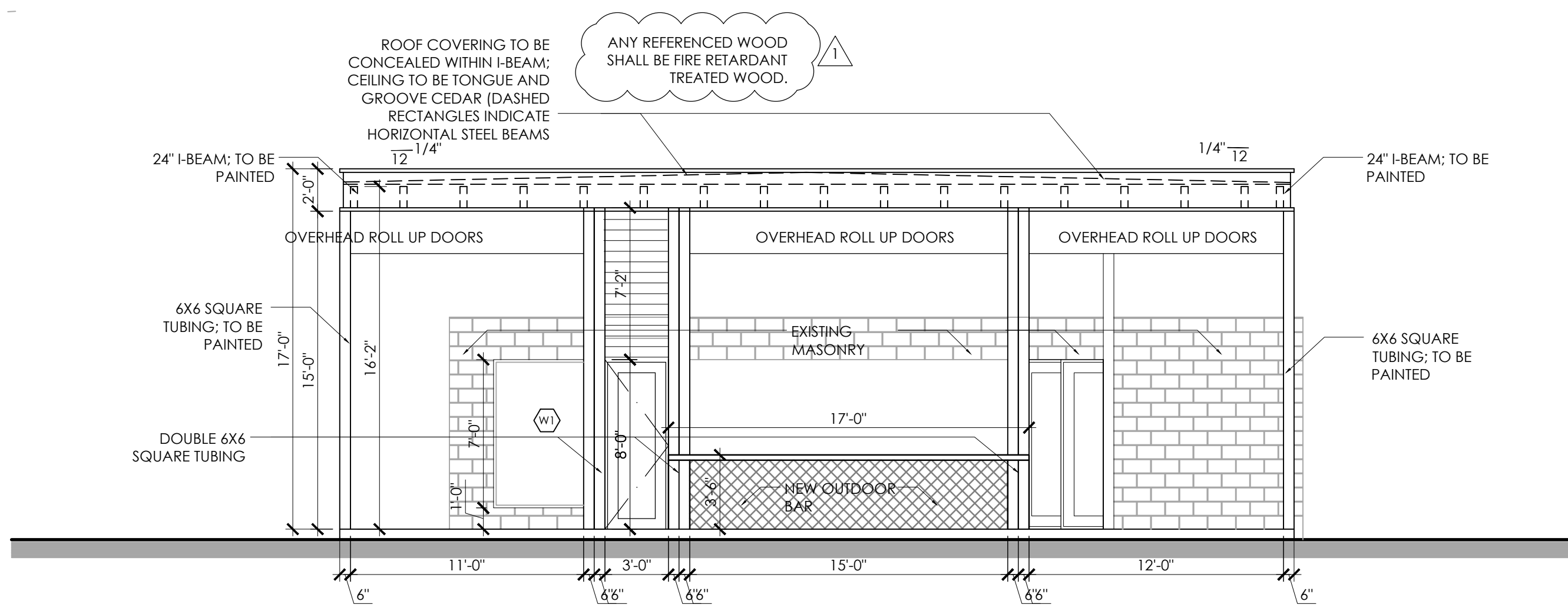
N EXTERIOR ELEVATION
3/16" = 1'-0"



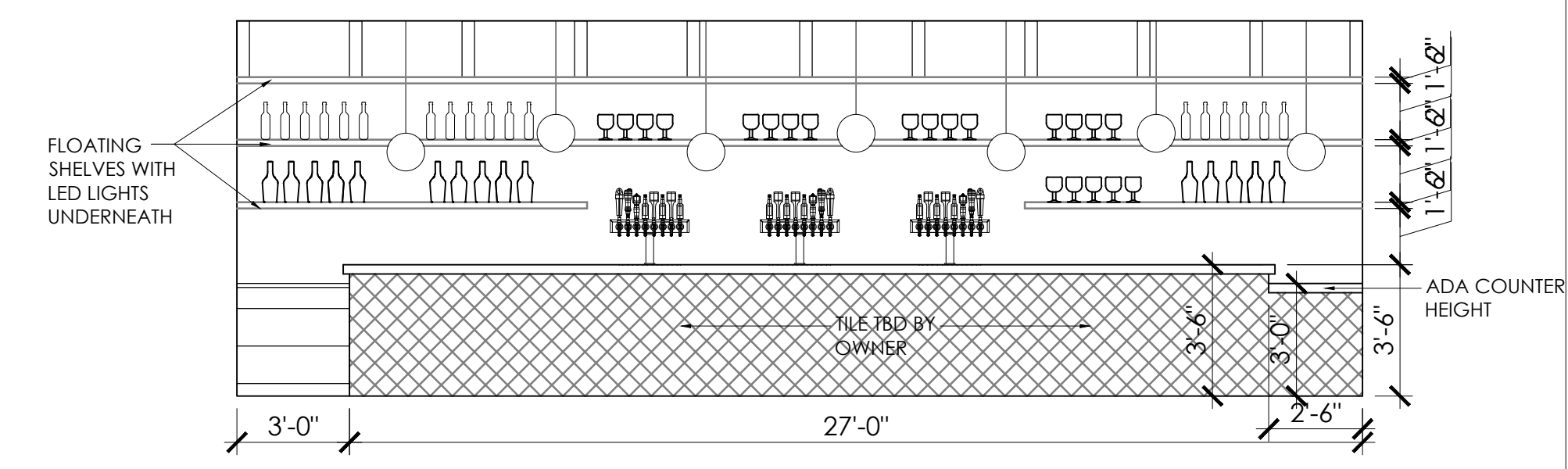
S EXTERIOR ELEVATION
3/16" = 1'-0"



3 EXTERIOR PATIO EAST ELEVATION (CLOSED O.H.D.)
3/16" = 1'-0"



E EXTERIOR PATIO ELEVATION
3/16" = 1'-0"



3 BAR ELEVATION
1/4" = 1'-0"

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SHEET TITLE
Roof Plan
Patio Elevations
Interior Elevation
DATE
25 July 2022
SHEET NUMBER
BAR LENGTH ON ORIGINAL DRAWING
EQUALS 1 INCH